

EXTENSIONS: A HOUSEHOLDERS GUIDE SUPPLEMENTARY PLANNING GUIDANCE

**Revised and Approved
18 March 2003**

HARROW COUNCIL

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1 ■ INTRODUCTION

Background

- 1.1 This guidance was originally adopted in August 1992. It was updated and re-issued in November 2001. The guidance has provided a consistent basis for decision-making for the last ten years, and has been supported on appeal on numerous occasions.
- 1.2 However, no public consultation was carried out on the original Guidance, and this has led to appeal Inspectors giving the guidance less weight than if it had been fully accepted as supplementary planning guidance.
- 1.3 The guidance has now been revised, alongside the review of the Harrow Unitary Development Plan. The guidance was issued in draft form and approved for public consultation on 24 September 2002. The document was amended further, in the light of consultation, and approved by Cabinet on 18 March 2003.

Purpose of the Guidance

- 1.4 This guidance supplements the design policies of the replacement Unitary Development Plan for

Harrow by setting down detailed design advice and principles for extensions to residential property. These principles and advice are also applied to new buildings adjacent to existing residential property.

- 1.5 While an owner's main concern may be the internal arrangement of an extension, its external appearance can affect the community as a whole, and the immediate neighbours in particular. The local planning authority is concerned that the principles and guidelines :

- ensure that the impact of new extensions or new buildings on the amenity of neighbouring residents and the character of the locality is acceptable;
- improve the design of householder extensions; and
- take full account of any existing buildings and features within and adjacent to the site.

- 1.6 Sections 2 and 3 of the guidance set out the basic design principles and amenity considerations; Section 4 gives detailed design guidance.

- 1.7 The drawings are used only for illustrative purposes.

The Need for Planning Permission

- 1.8 Planning permission will generally be required for all but the smallest extensions, and in certain cases for alterations which change the external appearance of the property. Small extensions can fall into the category of "permitted development", where planning permission is not required.
- 1.9 The circumstances when planning permission may not be required are listed in the booklet "Planning - A Guide for Householders" issued free of charge by the Office of the Deputy Prime Minister (ODPM) and is also available from the Urban Living Reception at Harrow Civic Centre.

SPECIAL AREAS

Conservation Areas and Listed Buildings

- 1.10 Extensions to houses in conservation areas, and to listed buildings, require greater care and attention. The amenity considerations in these guidelines will generally, but not necessarily, be the same. Design and detailing considerations will be particularly important in these cases. It is most important that the character and appearance of the building and / or conservation area is preserved or enhanced and these considerations can override other policy requirements. Detailed guidelines for a number of conservation areas have been produced and these should be referred to separately. As with all planning applications every case will be considered on its merits.

Green Belt

- 1.11 Extensions to houses within the Green Belt should not result in disproportionate additions over the size of the property as originally built. Any extension should not detract from the open character of the site and the Green Belt in particular.

Seeking Advice

- 1.12 You are advised to discuss your proposals with Planning Services before submitting your application. Please contact the:

Urban Living Reception
Third Floor, Civic Centre
Station Road
Harrow
HA1 2UY

Tel: 020 8424 1199

- 1.13 A Duty Planner is available to give advice in the Urban Living reception from:

9.00am to 12.00pm on Mondays to Fridays,
and additionally from 4.30 to 7.30pm on
Thursday evenings.

- 1.14 Please note that the Duty Planner's time is limited and normally no more than 10 to 15 minutes is available for each enquiry.

- 1.15 The Duty Planner will:

- answer general planning enquiries from personal callers, for example, relating to the need for planning permission, or interpreting planning legislation, policy, standards and guidelines
- assist in the procedural technicalities of form-filling and application preparation, including the explanation of planning fees
- help with explaining planning applications to neighbouring residents and other interested parties, where requested by Planning Reception staff
- answer general planning enquiries from telephone callers, where specifically requested by Urban Living Reception staff

- 1.16 The Duty Planner will not:

- express views on the acceptability of proposals brought in by prospective applicants
- discuss the technical merits of current applications, recently refused applications or appeals, with applicants or agents
- decide minor amendments to planning permissions

- 1.17 The current practice is to offer oral advice but any confirmation in writing should be obtained by submitting a formal application for a Certificate of Lawful Proposed (or Existing) Development. The grant of such a Certificate provides certainty, for example, in the event of the future sale of your property.

- 1.18 Visitors are asked to confirm in writing their understanding of the informal advice received from the Duty Planner.

PLEASE NOTE:

Any planning advice provided by Officers of this local planning authority to members of the public, either orally or in writing, in the course of their duties is offered in good faith, based on the available information and evidence.

Such views are the personal opinion of that Officer and not a formal decision of, nor binding upon, the Local Planning Authority.

The Local Planning Authority will only be bound where a formal application is submitted and a formal decision is issued in writing.

2.

DESIGN PRINCIPLES & ELEMENTS

Harmony

- 2.1 Extensions should harmonise with the scale and architectural style of the original building, and the character of the area. In some circumstances an extension in a contrasting modern design may be acceptable.
- 2.2 One of three forms of extension, illustrated in this guide, may be appropriate, depending on the form or shape of the original building and on the particular site considerations:

A. Reflection

An additional volume subordinate to, and reflecting, the character of the original house, particularly on detached and semi-detached properties. Best achieved on, for example, two storey side extensions, by setting-back the front wall by a minimum of 1 metre and stepping down the roof line. The purpose of this form of extension is to retain the symmetry and rhythm of the original building by reducing the bulk and avoiding a "terracing" effect in the street scene.

B. Continuation

A simple extension of the existing building form. Matching of materials, roof form, proportion, and

window positions are particularly important. Appropriate for terraced houses and some detached houses, where there is no problem of a potential "terracing" effect or excessive bulk, and where site considerations allow.

C. Separation

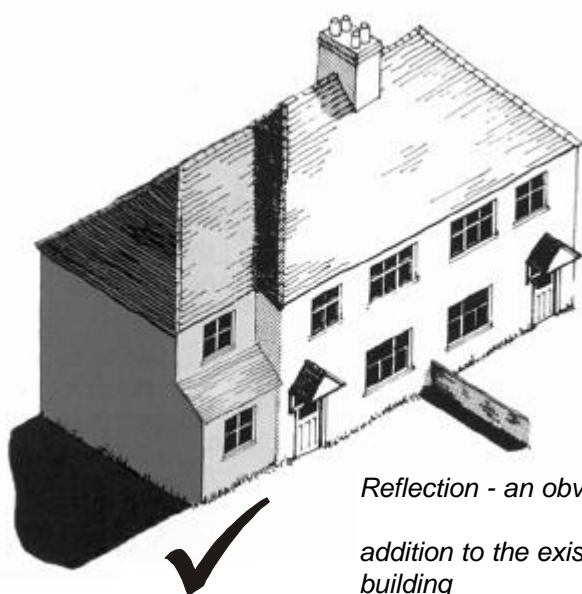
An extension that is visually separate from the original building but joined by a less obtrusive link element. Although not often applicable in Harrow, this form of extension may be appropriate for extensions on larger detached properties or where the original building has a distinctive character that is difficult to reflect or continue.

Proportion and Scale

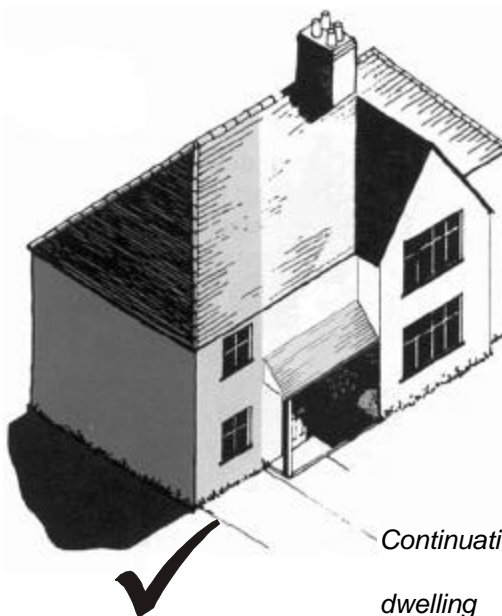
- 2.3 An extension should have a sense of proportion and balance, both in its own right and in its relationship to the original building and should not dominate the original building.

Materials

- 2.4 External materials, particularly brickwork, tiles and joinery details, should match or complement those on the existing building, unless a contemporary modern design is justified.



Reflection - an obvious addition to the existing building



Continuation - an dwelling

Windows and Doors

These should generally reflect the proportions, design detail and materials of the original building.

reflect the vertical or horizontal emphasis of the original building.

2.6 Roof design is very important because this will

generally desirable for a first floor or two storey extension to be roofed to reflect the design of the

pitched roof will be required on two storey extensions. This offers the advantages of greatly

maintenance costs

2.7

single storey extensions, subject to consideration of impact on the amenity of neighbouring

It will help if the roof is related to existing horizontal elements such as canopies, string

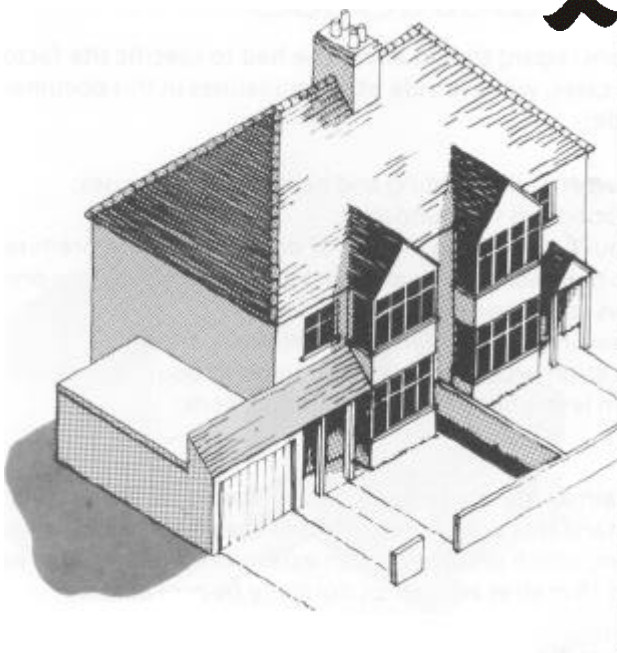
materials, e.g. brick to render or tile hanging. A low parapet with a brick-on-edge detail above a

method of finishing such extensions.

2.8

parapets should be avoided and are unacceptable where they would be intrusive in the street scene

False pitch unsatisfactory



Use of matching material



Unsatisfactory flat roof and unsympathetic materials

3 AMENITY CONSIDERATIONS

Site Considerations

- 3.1 When designing extensions specific site factors may override other guidelines in this document.
- 3.2 The acceptability of an extension will be determined by particular site considerations, including:
- a) the design and character of the existing and neighbouring houses
 - b) distance of existing buildings from boundaries
 - c) siting of buildings within the site or on neighbouring premises
 - d) siting of windows to habitable rooms and kitchens on neighbouring premises ('protected' windows - see "Loss of Light or Outlook" below)
 - e) existing features, for example, outbuildings, fences, walls, trees
 - f) orientation
 - g) changes in levels between properties / gardens
 - h) garden plot / sizes

Gardens

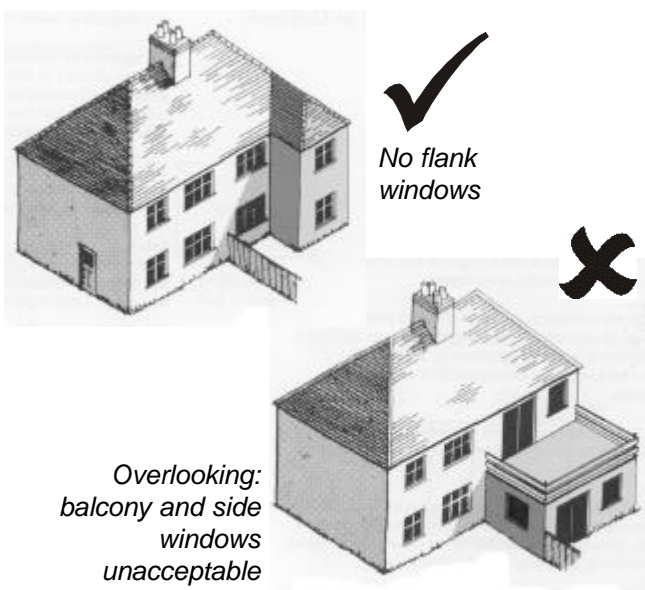
- 3.3 Extensions should maintain an adequate garden area to allow practical use and reflect the established character of the locality.

Overlooking

- 3.4 Extensions should not result in any significant loss of privacy to neighbouring houses and gardens. Windows should be omitted from flank walls adjacent to a neighbouring boundary, where these

would allow overlooking of a neighbouring house or garden, or result in perceived overlooking or loss of privacy. High level non-opening windows with obscure glazing may be appropriate, dependent on site circumstances, but should be avoided where directly adjacent to boundaries with neighbouring residential properties.

- 3.5 A small window in a flank elevation maybe acceptable in principle. However, purpose-made obscure glazing to avoid overlooking would normally be required in windows to halls, landings, bathrooms and toilets, and in small secondary windows to habitable rooms and kitchens. Such windows would not be protected from future development on the adjoining property.
- 3.6 Large windows in the side of an extension sited within 3m of a boundary are unacceptable. Even if obscure-glazed and non-opening they are unlikely to avoid the effects of perceived overlooking or loss of privacy. Alternative solutions should be sought.
- 3.7 The creation of a balcony, for example, by the use of an extension roof, particularly where sited on or near a flank boundary, would normally be unacceptable. It would result in an unreasonable loss of privacy. Permissions for flat-roofed single storey extensions will usually have a condition to prohibit such use, other than for maintenance.
- 3.8 New doors in the side walls of extensions may give rise to overlooking of existing doors or windows in an adjacent elevation. They can also result in unreasonable disturbance and activity where they are sited within 3 metres of a shared boundary. In such circumstances new doors should preferably be sited on rear elevations.



Loss of Light or Outlook

- 3.9 Extensions should not cause any unreasonable loss of light or overshadowing to any habitable rooms and kitchens in neighbouring properties, or to gardens, in particular to the area immediately to the rear of the house.
- 3.10 Careful consideration will be given to possible loss of light and outlook to 'protected' windows on neighbouring residential properties. Much of the concern in these guidelines relates to the impact of extensions on 'protected' windows. Where there are dual aspect windows and/or glazed doors looking to side and rear an assessment of size and site considerations would be made to determine which windows are 'protected'.

3.11 Loss of light to halls, landings, bathrooms, toilets and secondary windows to habitable rooms and kitchens would not conflict with the aims of this guidance seeking to safeguard 'protected' windows, but could well be unneighbourly and should be avoided where possible.

'protected' window should not interrupt an upward plane angled at 45° from the lower edge of the glazed area of that window, measured across the whole width of the opening. Extensions up to both sides of the 'plane' will be unacceptable.

The 45° Code

3.12 The 45° Code in this guidance is intended to:

- i) maintain a reasonable relationship between existing buildings and extensions;
- ii) avoid an overbearing visual impact in terms of bulk and proximity to boundaries both from inside adjacent properties and from neighbouring gardens; and
- iii) reduce potential loss of light and overshadowing.

3.13 The code should not simply be applied on a mechanical basis but always be applied as part of an assessment of site considerations.

3.14 There are two elements to the 45° Code:

I) The Horizontal Plane

In relation to the impact of first floor or two storey extensions projecting beyond the rear or front of adjacent residential properties:

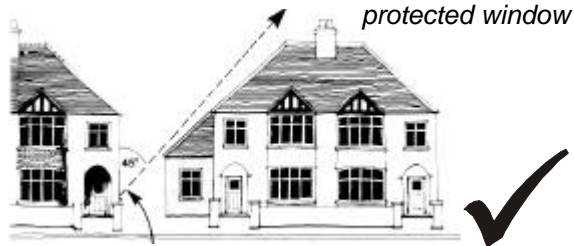
no part of any new extension should interrupt a 45° splay drawn on plan from the nearest first floor or two storey rear corner of any next-door dwelling, or from a single storey rear corner if that rear elevation has a 'protected' window. This would include projecting roof eaves, but not shallow fascias or guttering.

II) The Vertical Plane

In relation to the impact of side extensions (particularly first floor or two storey) on adjacent 'protected' windows:

the height of any new extension adjoining a

No loss of light to protected window



Encroachment

3.15 You should avoid encroachment of foundations, roof eaves or guttering under or over the boundary of adjoining property, while maintaining an appropriate character.

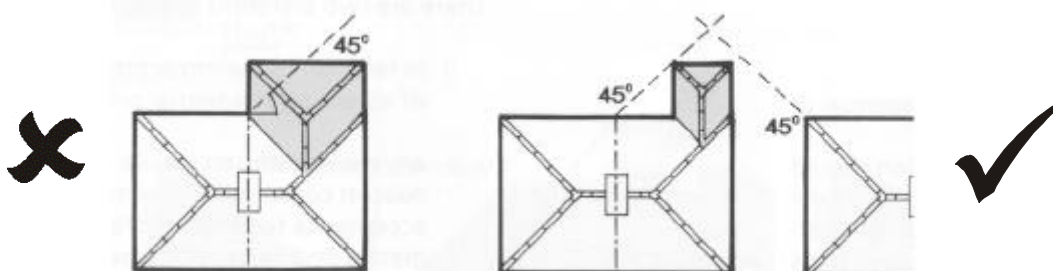
3.16 The Party Wall etc. Act 1996 requires a building owner to notify, and obtain formal agreement from, an adjoining owner, where the building owner intends to carry out the following work:

- i) work on an existing wall shared with another property
- ii) building on the boundary with a neighbouring property
- iii) excavating near a neighbouring building

and that work falls within the scope of the Act.

3.17 Procedures under this Act are quite separate from the need for planning permission or building regulation approval.

Two storey rear extension (para 3.14 I)



4. DETAILED GUIDELINES

A. FRONT EXTENSIONS

- A.1 Front extensions have the greatest potential impact on the character and visual amenity of the street scene. They should reflect the pattern of development in the street scene.
- A.2 Site considerations and, where appropriate, the relevant 45° Code will be used to determine the acceptable size of extensions.
- A.3 Front porches and garage extensions will normally be appropriate. To safeguard the appearance of the property such extensions should not link into existing bay windows, or project significantly forward of such windows.

B. SIDE EXTENSIONS

- B.1 Side extensions have considerable potential for harm to the amenities of adjacent residents and impact on the street scene, and should therefore reflect the pattern of development in the street scene. The visual impact of side extensions, particularly first floor and two storey, will be assessed against the pattern of development in the immediate locality, and the potential to dominate the appearance of the street scene. Corner sites, wedge-shaped sites, and sites that provide significant space and open character are particularly important.
- B.2 First floor or two storey side extensions should be of a size, shape and height that complement

rather than dominate a house. Any of the three forms of extension described in Para 2.2 may be appropriate, depending on the type of property and specific site considerations.

- B.3 Where continuation is appropriate, there should normally be a slight set-back between the old and new brickwork to avoid any problems of matching the brickwork.
- B.4 In relation to any nearby 'protected' windows on adjacent properties site considerations will be used in conjunction with the appropriate 45° Code to determine the acceptable size of extensions.

SINGLE STOREY SIDE EXTENSIONS

- B.5 These are normally acceptable abutting a side boundary, subject to no unreasonable impact on 'protected' windows in adjacent properties, or on the appearance of the street scene.
- B.6 The use of pitched or flat roofs would normally be acceptable subject to detailing, site considerations and character of area.

FIRST FLOOR OR TWO STOREY SIDE EXTENSIONS

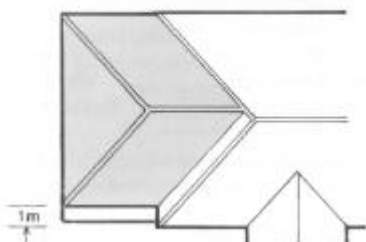
- B.7 Where there is an existing gap, for example, between an attached garage and a side boundary, and this is a feature of the established street scene, space should be retained when first floor or two storey side extensions are proposed.

Principal symmetry retained

Subordinate roof

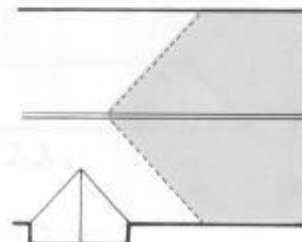


A hipped rather than a gable roof, and a minimum first floor setback of one metre is normally required (paras B7 - B10 refer)



Loss of symmetry

Bulky, obtrusive roof



B.8 A pitched roof should be provided to respect the form of the original roof. A hipped rather than a gabled roof is preferable:

- to reduce roof bulk
- to prevent a 'terracing' effect on detached and semi-detached properties.

Exceptions would depend on site considerations and the potential impact on the amenity of neighbours and the street scene.

Note: Where a two storey side extension would project rearward of the main rear wall of the adjacent property, the rear element will be considered as a two storey rear extension - see paras C8 to C10.

Detached and Semi-Detached Houses:

B.9 The primary considerations are the character of the locality and space around the building. There is usually more scope for extensions to detached and semi-detached houses than to terraced houses. However, a 'terracing' effect should be avoided (in particular where houses are of similar size and alignment). The location of adjacent 'protected' windows and other site considerations will be assessed.

B.10 The minimum requirements are a set-back of the first floor front wall by at least 1 metre behind the front main wall, and a subordinate pitched roof.

B.11 A different, or no, set-back may be justified in the following circumstances:

- a variation in the building line **and either**
- a separation distance of at least 1 metre between the flank wall of the extension and the boundary **or**
- a permanent open area of at least 1 metre width adjacent to the boundary

Site considerations and the character of the locality will also be assessed.

B.12 The extension should incorporate traditional eaves detailing to reflect the original building. Where space is limited at the side of a property, or where the house is adjacent to a street corner, a recessed eaves detail may be used.

B.13 The use of a parapet wall along the side elevation of the extension to hide a valley gutter and avoid encroachment of eaves and guttering can be visually obtrusive. This should be avoided, unless there is already a parapet wall along an adjacent flank elevation, or where the new elevation would be screened by that adjacent building. Careful attention should be given to design, detailing and height. Any rearward projection of a first floor parapet beyond the rear main wall of the adjacent property will be unacceptable.

End of Terrace Houses:

B.14 First floor or two storey side extensions are normally acceptable without a set-back or subordinate roof, as a reflection of the established character. Otherwise, the general considerations would apply, taking particular care over the matching of brickwork and other external materials.

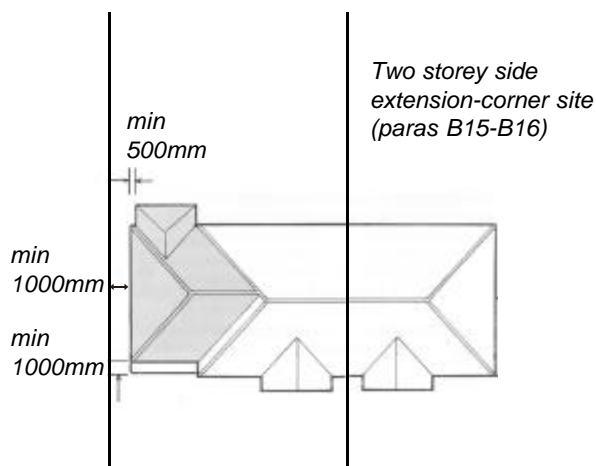
Corner Sites:

B.15 Side extensions should reflect the pattern of development in the street scene, in particular where the character is one of openness and space on the corner plots. Consideration will be given to established character, projection of the extension beyond existing building lines, bulk and visual impact, and relationship to the site boundaries. Extensions should have a subordinate roof and full depth extensions should be sited a minimum of 1 metre from corner boundaries at first floor level.

B.16 Rearward projection at first floor level beyond the rear main wall may result in a considerable increase in bulk and prominence of the extension. Consideration will be given to the impact of any rear extension at first floor level on the character and appearance of the locality. Any rear extension should therefore be subordinate to the side extension and set a minimum of 500mm further from the corner boundary.

'Wedge-Shaped' Sites:

B.17 Irregular site boundaries often occur at bends in the road or at the end of a row of houses and may form part of an original street pattern. The resultant space between the houses can often provide an important visual break, adding to the quality of the established character and pattern of development in the street.



B.18 In such cases, first floor or two storey side extensions that occupy the whole width of garden between the house and boundary can appear overbearing, unduly obtrusive, or result in a terracing effect. There could also be problems in constructing the roof. Rearward projection beyond the rear main wall of the adjacent property can further emphasise the visual impact and result in extensions that could be disproportionately large.

B.19 Particular care will therefore be needed to avoid such extensions which would detract from the established pattern of development and openness of the street scene. 'Wedge-shaped' first floor and two storey side extensions are unacceptable. The preferred solution should always be for an appropriately sized extension designed with walls that are parallel to the existing house walls. Extensions that are unduly complex or bulky will be unacceptable.

Previous Roof Extensions

B.20 Where the property has already been extended by the conversion of a hipped to a gabled roof, a further side extension (first floor or two storey) is unlikely to be appropriate. However, an extension may be acceptable subject to the following criteria:

- modest in scale
- a subordinate hipped roof
- sited at a substantial distance (a minimum of 3 metres) from the front of the house
- not projecting beyond the rear main wall of the house
- not on a prominent corner site or a significant bend in the road

C REAR EXTENSIONS

C.1 Rear extensions have the greatest potential for harm to the amenities of neighbouring residents. Their impact on neighbouring property and the character and pattern of development needs careful consideration. Rear extensions should be designed to respect the character and size of the house and should not cause unreasonable loss of amenity to neighbouring residents.

SINGLE STOREY REAR EXTENSIONS

C.2 A single storey rearward projection, adjacent to a boundary, of up to 3 metres beyond the rear main wall of adjacent semi-detached or detached houses would normally be acceptable.

C.3 This distance should be limited to 2.4 metres on a terraced house (a row of 3 or more houses), whether this is in the middle or end of terrace. Generally, the acceptable depth of extensions will be determined by:

- site considerations
- the scale of the development
- impact on the amenity of neighbouring residents, and
- the established character of the area and the pattern of development

C.4 In special circumstances a greater depth may be allowed where, for example:

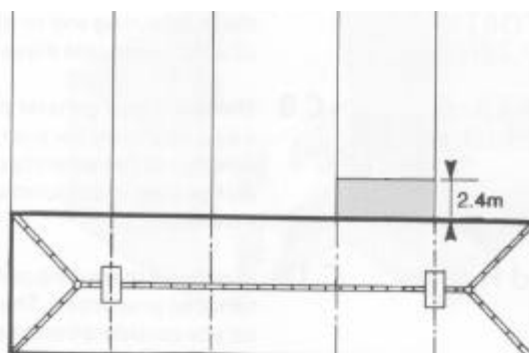
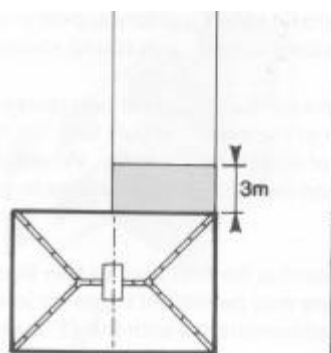
- the extension would be sited away from an adjacent side boundary
- the rear building line is staggered
- an adjacent dwelling is sited away from such a boundary, or
- where the neighbouring dwelling has an extension

C.5 Where a greater depth is acceptable the additional element should be set away from the boundary with an attached dwelling by twice the amount of additional depth - the "two for one" rule. Chamfering of extensions is not normally acceptable. An exception would be where a purpose-built conservatory is proposed.

C.6 Conservatories sited within 3 metres of a boundary would normally be required to have brick flank walls or be finished with solid panels, to avoid any overlooking or perception of overlooking (see also Section 3 on Overlooking).

C.7 The height of single storey rear extensions should be minimised to restrict the impact on the amenities of neighbouring residents. Subject to site considerations, the finished height of an extension abutting a residential boundary should be a maximum of 3 metres on the boundary for a

Single storey rear extension - semi detached house (para C2)



Single storey rear extension - terraced house (para C3)

flat roof, and for a pitched roof 3 metres at the mid-point of the pitch at the site boundary.

FIRST FLOOR OR TWO STOREY REAR EXTENSIONS

C.8 All roofs should normally be designed to reflect the character of the house and those adjoining and to provide a satisfactory appearance. The guidance on use of windows in side elevations will apply as stated above for side extensions.

Detached and Semi-Detached Houses:

C.9 Two storey or first floor rear extensions abutting a side boundary have considerable potential for detrimental impact on the amenity of neighbouring properties because of the excessive bulk and loss of light. Such extensions must always comply with the 45° Code but will also be assessed against the relevant site considerations, in particular:

- the orientation of the houses - siting south or west of the neighbour would normally be unacceptable
- the extent to which the proposal would rely for its setting on the garden of the adjoining house
- the location of the adjacent house and any existing extensions or other buildings at that property
- the use of the adjacent rear garden
- see also para B.16

*Two storey rear extension up to the boundary
- overlooking from side window
- overbearing and loss of light
(para C9)*



Terraced Houses:

C.10 In general there is no potential for first floor or two storey rear extensions on mid-terraced properties because of the adverse impact on adjacent properties and their gardens. Extensions on end of terrace properties will be considered against the criteria in para C9.

D ROOF ALTERATIONS

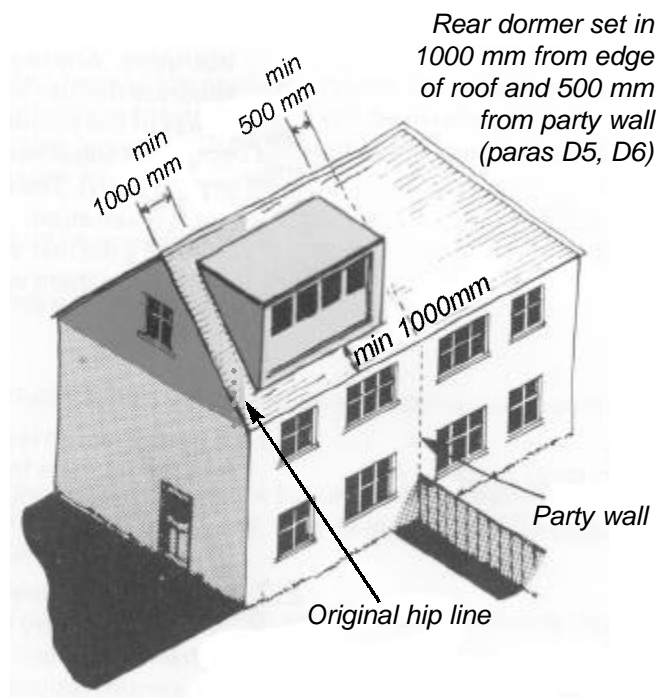
D.1 The roof form of a house is a significant part of the character of an area. Alterations may significantly alter the appearance of a house and their effect on the roof form needs careful consideration. Roof alterations and dormer windows should complement the original street character and not dominate buildings or impair their proportions or character.

D.2 Front or side dormers and roof extensions can be objectionable. Their potential bulk and impact on the appearance and character of the building and street-scene will interrupt a regular pattern in the street scene. Consideration will be given to the type of roof, the scale of proposals, and the character / appearance of the house and those adjacent.

D.3 Generally, dormers should be subordinate features in the roof, should not overlap or wrap around the roof hips, and should never rise above the ridge. The retention of a clearly visible section of roof around the sides of a dormer window, including the upper corners, has the effect of visually containing them within the profile of the roof.

D.4 The preferred form of roof alteration to semi-detached or terraced houses is the extension of a hipped roof to form a gable, with the addition of a rear roof extension (or a rear dormer window).

D.5 In order to reduce its visual impact, such a rear dormer should be set in at least 1000mm from the edge (or verge) of the roof and 500mm from a shared (party) wall, and set back at least 1000mm above the roof eaves, measured externally along



the roof slope. In the case of a terraced property this would only relate to an end of terrace. The requirement for mid-terrace properties would be a minimum distance of 500mm from each party boundary.

D.6 Where a loft conversion is provided as part of a two storey side extension a single rear dormer across the whole width of the extended house may be unduly obtrusive. As a guide, a single rear dormer should never be wider than that which could be created (in accordance with this guidance) if an original hipped roof was altered to provide a gable end. In this case, two or more separate dormers should be created with a minimum space of 500mm between. Any rear dormer should be sited at least 500mm from a party wall and 1000mm from the new roof hip line or edge (verge) of roof (measured horizontally from the top of the dormer).

D.7 For detached houses the gabling of existing hipped roofs can be unduly prominent and should be avoided. The use of side and rear dormers may be an acceptable alternative to, for example, the gabling of a pyramidal hipped roof. The following will be assessed:

- site considerations
- pattern of development and character of locality
- size, design and siting of alterations.

D.8 Floor-to-ceiling French doors or windows, possibly including some form of railings, should be avoided. Even if these are not associated with a balcony they are an inappropriate form of development and might result in direct or perceived overlooking.

E GARAGES AND CAR PORTS

E.1 A garage attached to the house or in a prominent location close to the house should be treated in the same way as other extensions. It should reflect or harmonise with the design of the existing house and be built in matching materials.

E.2 Car ports are more difficult to integrate into the design of a house particularly where temporary materials are used. For this reason car ports built or projecting in front of the building line will normally be unacceptable unless particular site considerations justify an exception.

GLOSSARY

conservatory

a single storey extension in the form of a lightweight glazed structure with a glazed roof

dormer

a vertical window or opening in a roof slope, having its own roof, whether flat, pitched or curved

'protected' window

main or primary windows to habitable rooms and kitchens

sill (or cill)

the bottom section of a window frame that projects from the wall to provide rainwater runoff

string course

a projecting band of brickwork or stone, usually between the ground and first floors

terraced house

a dwellinghouse situated in a row of three or more dwellinghouses used or designed for use as single dwellings, where:

- (a) it shares a party wall with, or has a main wall adjoining the main wall of, the dwellinghouse on either side; or
- (b) if it is at the end of a row, it shares a party wall with or has a main wall adjoining the main wall of a dwellinghouse which fulfils the requirements of sub-paragraph (a) above.

(extract from Interpretation, Part 1, Schedule 2 of the Town and Country Planning (General Permitted Development) Order 1995)

'terracing effect'

a continuous unbroken façade of buildings within a given part of the street scene

verge

the termination or edge of a pitched roof at the gable



Contacts	Planning Services London Borough Of Harrow PO Box37, Civic Centre, Station Road, Harrow, HA1 2UY	Planning Enquiries	020 8424 1199
		Conservation Areas & Listed Buildings	020 8424 1467 020 8424 1468